

AMENDED FINAL DEVELOPMENT PLAN

FOR JIMMY JOHN'S

121 SOUTHGATE DRIVE
GEORGETOWN, KENTUCKY 40324
(AMENDS FDP APPROVED 08/2020)

PROJECT CONTACTS

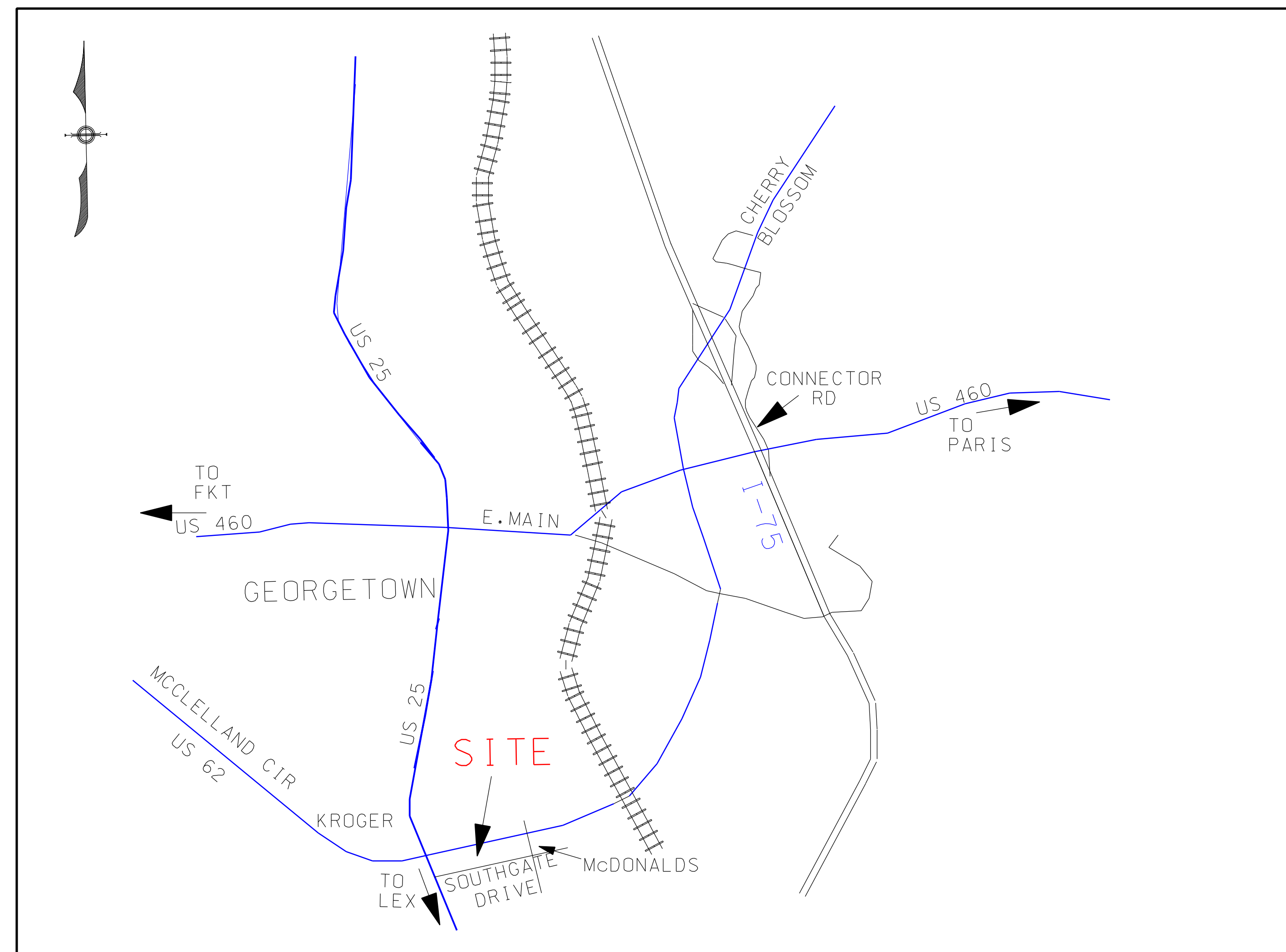
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VICINITY MAP
NOT TO SCALE

SHEET INDEX

- 1) COVER AND INDEX SHEET
- 2) EXISTING CONDITIONS SURVEY
- 3) SITE PLAN
- 4) UTILITY PLAN
- 5) GRADE & DRAINAGE PLAN
- 6) LANDSCAPE PLAN
- 7) PHOTOMETRIC - LIGHTING PLAN

SUMMARY OF AMENDED PLAN CHANGES

- 1) THIS AMENDED DEVELOPMENT PLAN SUBMITTAL IS BEING MADE TO ADDRESS MINOR CHANGES THAT ARE DISTRIBUTED THROUGHOUT THE FULL PLAN SET.
- 2) THIS AMENDED SUBMITTAL IS REQUIRED BECAUSE THE ORIGINAL APPROVAL GIVEN IN AUGUST OF 2020 HAS EXPIRED.
- 3) A SUMMARY OF SPECIFIC CHANGES HAS BEEN ADDED TO EACH SHEET. THE SUMMARIES ARE WRITTEN BEGINNING WITH THE MOST SIGNIFICANT CHANGES TO LEAST.
- 4) THE MOST SIGNIFICANT CHANGES OVERALL ARE RELATED TO THE PARKING CONFIGURATION AND DRIVE AISLES THAT WERE MADE TO IMPROVE VEHICULAR MOVEMENTS IN THE FRONT PARKING AREA AND FOCUSED USE OF THE DRIVE-THRU LANE AS A PRIORITY COMPONENT OF THE PROJECT.

CERTIFICATION OF DEVELOPMENT PLAN - PROJECT ENGINEER
I HEREBY CERTIFY THAT THE PROJECT DESIGN FOR THIS FINAL DEVELOPMENT COMPLIES WITH THE DESIGN STANDARDS AS SPECIFIED IN THE GEORGETOWN - SCOTT COUNTY SUBDIVISION AND DEVELOPMENT REGULATIONS, CURRENT EDITION.
I FURTHER CERTIFY THAT THE STORMWATER MANAGEMENT DESIGN FOR ON-SITE DETENTION AND STORM SEWER SYSTEMS MEETS OR EXCEEDS THE MINIMUM DESIGN STANDARDS AS PROVIDED IN THE GEORGETOWN - SCOTT COUNTY STORMWATER MANAGEMENT REGULATIONS.

PROJECT ENGINEER

DATE



REVISED: AUGUST 20, 2025
AUGUST 29, 2025
FINAL: SEPTEMBER 20, 2025

CERTIFICATION OF DEVELOPMENT PLAN - PROJECT ENGINEER
 I HEREBY CERTIFY THAT THE PROJECT DESIGN FOR THIS FINAL DEVELOPMENT COMPLIES WITH THE DESIGN STANDARDS AS SPECIFIED IN THE GEORGETOWN - SCOTT COUNTY SUBDIVISION AND DEVELOPMENT REGULATIONS, CURRENT EDITION.
 I FURTHER CERTIFY THAT THE STORMWATER MANAGEMENT DESIGN FOR ON-SITE DETENTION AND STORM SEWER SYSTEMS MEETS OR EXCEEDS THE MINIMUM DESIGN STANDARDS AS PROVIDED IN THE GEORGETOWN - SCOTT COUNTY STORMWATER MANAGEMENT REGULATIONS.

PROJECT ENGINEER _____ DATE _____

PRE-CONSTRUCTION NOTES:

1. A PRE-CONSTRUCTION MEETING WITH THE PLANNING DEPARTMENTS ENGINEERING STAFF IS REQUIRED BEFORE ANY WORK MAY OCCUR.
2. CONTRACTOR IS RESPONSIBLE FOR VIGILANT MAINTENANCE OF ALL NECESSARY BMP MEASURES THROUGHOUT THE DURATION OF THE PROJECT.
3. SITE MUST BE MAINTAINED IN A NEAT, WORKMAN LIKE CONDITION AND LEFT IN A CLEAN, SAFE AND STABLE CONDITION AT THE END OF EACH WORK DAY.
4. PRIME CONTRACTOR IS RESPONSIBLE FOR THE COURTEOUS AND RESPECTFUL BEHAVIOR OF THEIR WORK CREW AND OF ALL SUBCONTRACTORS.

GENERAL NOTES:

1. THIS PLAN MAY BE AMENDED WITH THE APPROVAL OF THE PLANNING COMMISSION.
2. NO BUILDING PERMITS SHALL BE ISSUED UNTIL A FINAL DEVELOPMENT PLAN IS APPROVED BY THE PLANNING COMMISSION.
3. ACCESS SHALL BE LIMITED TO THE POINTS INDICATED ON THIS PLAN.
4. A PERMIT FOR THE PROPOSED ENTRANCE(S) ON TO THE CITY STREET MUST BE APPROVED BY THE APPROPRIATE AUTHORITY.
5. PROPOSED SITE WATER MANAGEMENT DESIGN TO MEET CURRENT LOCAL STORM WATER MANAGEMENT REQUIREMENTS.
6. ALL PROPOSED SIGNAGE SHALL MEET LOCAL/CITY SIGN ORDINANCE REQUIREMENTS. SIGNAGE TO BE REVIEWED AND PERMITTED UNDER SEPARATE PROCESS.
7. PROPOSED DUMPSTER PAD AND SCREENING IN ACCORDANCE WITH LOCAL REQUIREMENTS. MINIMUM 14' X 24' X 6" THICK REINFORCED CONCRETE PAD. SEE ARCHITECTURAL PLANS FOR CONSTRUCTION DETAILS.
8. ALL INTERNAL, PERIMETER AND CANOPY LANDSCAPING SHALL MEET LOCAL LANDSCAPE ORDINANCE REQUIREMENTS. SEE LANDSCAPE PLAN SHEET 6 OF 7.
9. A VARIANCE TO ALLOW THE EXISTING PERIMETER LANDSCAPING ALONG THE EASTERLY BOUNDARY WHICH INCLUDES A CONTINUOUS HEDGE AND SPACED MEDIUM SIZE TREES WAS APPROVED WITH THE PRELIMINARY DEVELOPMENT PLAN SUBMITTAL.
10. EXISTING CURB AND SIDEWALK SECTION TO BE REPLACED WITH CONCRETE APRON TO R/W WITH ADA COMPLIANT TYPE 1 SIDEWALK RAMPS. CONCRETE APRON AND RAMPS SHALL BE IN GENERAL ACCORDANCE WITH CURRENT KDOH STANDARD DRAWINGS.

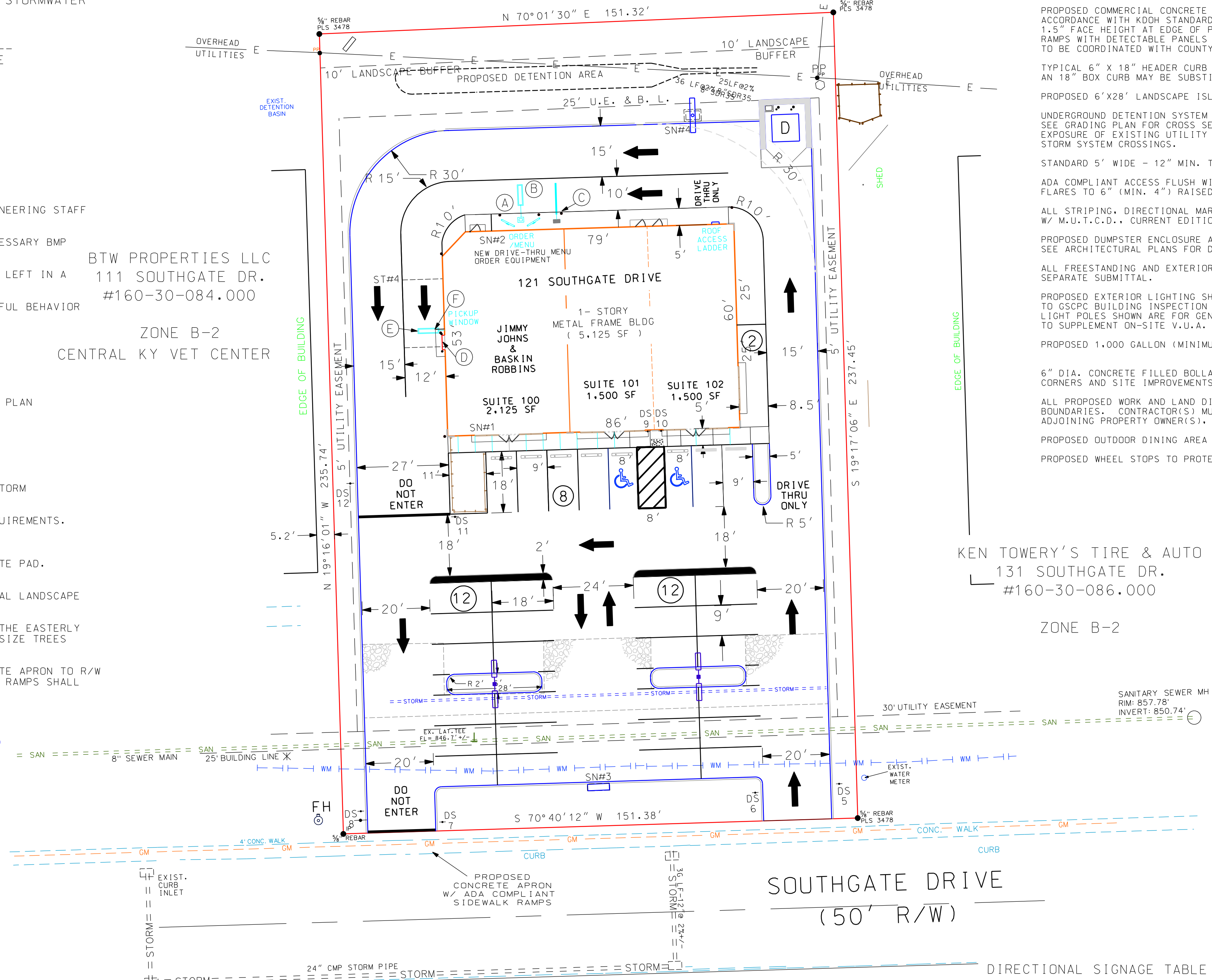
DRIVE THRU CONSTRUCTION ITEMS
 (SEE ARCHITECTURAL PLANS FOR DRIVE-THRU RELATED DETAILS)

ITEM ID	DESCRIPTION
(A)	NEW DRIVE THRU MENU AND ORDER BOARD - SEE SHEET A - 11
(B)	NEW MAGNETIC LOOP - SEE C/A - 11
(C)	NEW PIPE BOLLARDS (TYP OF 2) - SEE F/A - 11
(D)	DRIVE THRU WINDOW BO-10 - SEE E/A - 11
(E)	NEW MAGNETIC LOOP TO TIE INTO TIMER AT DRIVE THRU WINDOW - REF. COM - 1 SHEET FOR TIMER DETAIL
(F)	NEW PIPE BOLLARDS (TYP OF 2) - SEE F/A - 11

GENERAL NOTE - G.C. TO COORDINATE INSTALLATION OF EQUIPMENT PER THE MAIN STREET MENU SYSTEMS REQUIREMENTS (A PRODUCT OF THE HOWARD COMPANY, INC.)

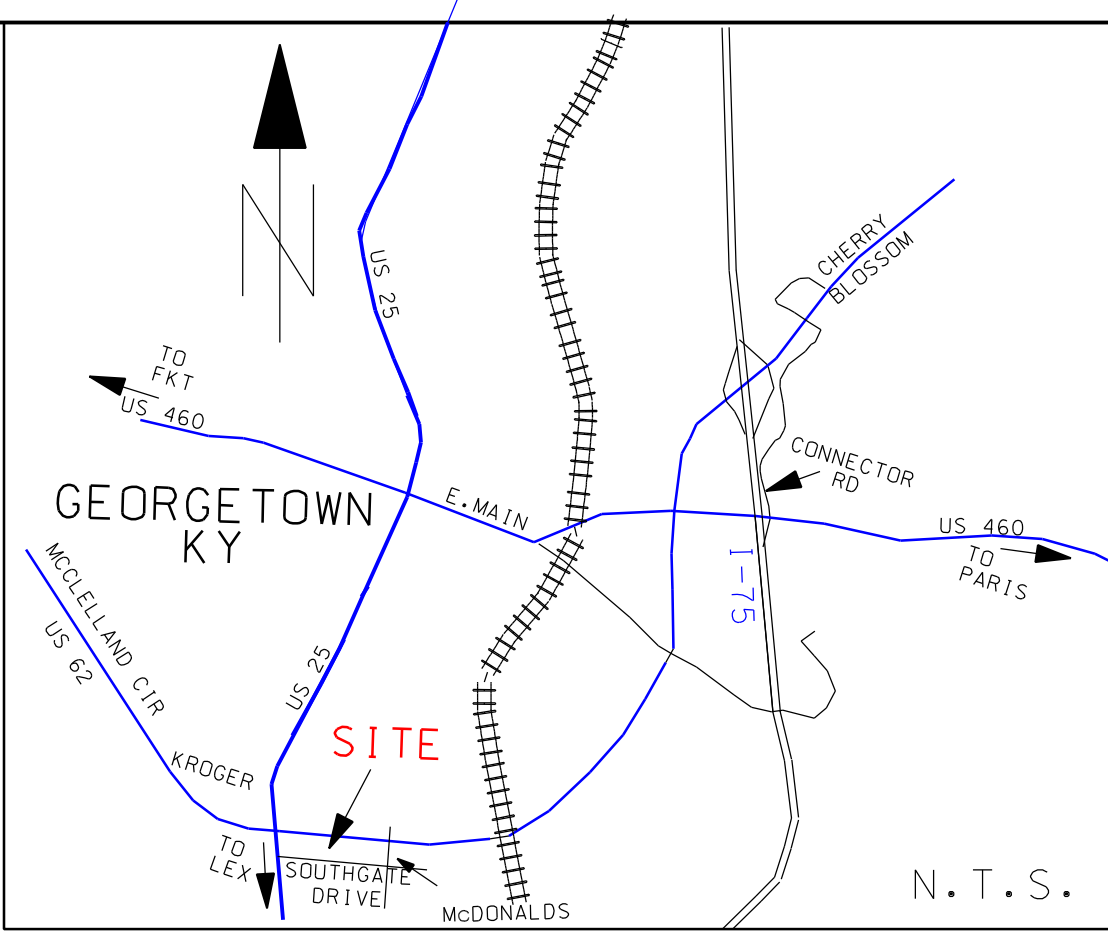
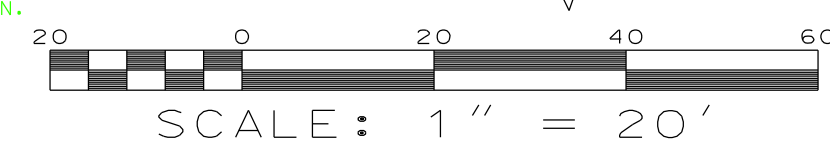
- 6 082425 ADDED INTERIOR ISLANDS, MISC. NOTES JO
- 5 060225 AMENDED SITE / PKG LAYOUT JO REV. SITE DATA & LANDSCAPING

MCCLELLAND CIRCLE (GEORGETOWN BY-PASS)



LEGEND

- PROPOSED STORM SEWER MAIN = STORM
- PROPOSED PERFORATED STORM SEWER PIPE = STORM
- PROPOSED STORM SEWER JUNCTION BOX W/ ACCESS TOP
- EXISTING WATER MAIN
- EXISTING SANITY MAIN
- EXISTING GAS MAIN
- SILT FENCE
- PROPOSED SUBSURFACE DETENTION - NO. 2 STONE
- PROPOSED GRATED STORM INLET
- PROPOSED SLOPED & FLARED HEADWALL
- PROPOSED STANDARD HEADWALL
- CL 11 RIP-RAP PROTECTION
- MODIFIED TYPE 11 INLET BOX (KDOH) W/WATER QUALITY INSERT
- PROPOSED SAND BAG INLET
- CONSTRUCTION KEY NOTE
- ALL STORM SEWER PIPES SHALL BE SMOOTH DOUBLE WALL HOPE - ADS TYPE PIPE AND WRAPPED WITH HEAVY FILTER FABRIC.
- ALL MINOR STORM SEWER STRUCTURES, PRE-CAST OR FIELD FORMED AND MUST HAVE 1" MIN. KEEP HOLES ON EACH SIDE. ALL STRUCTURES MUST BE WRAPPED WITH HD FILTER FABRIC.
- TWO-WAY CLEAN-OUT VALVE ASSEMBLY W/TRAFFIC BEARING TOP MARKED "STORM C.O."
- CL & CONCRETE 4,000 PSI (MIN)
- 6" SDR 35 PVC SEWER LATERAL @ 1/4" MIN.
- CONCRETE
- PAVING SPACES



BTW PROPERTIES LLC
 111 SOUTHGATE DR.
 #160-30-084.000
 ZONE B-2
 CENTRAL KY VET CENTER

KEN TOWERY'S TIRE & AUTO
 131 SOUTHGATE DR.
 #160-30-086.000
 ZONE B-2

SITE STATISTICS

ZONE	= B - 2
LOT AREA	= 0.822 AC. OR 35,806 SF
BUILDING AREA	= 5,125 SF
LOT COVERAGE	= 14.2%
SIDEWALKS	= 500 SF
OTHER IMPERVIOUS	= 265 SF
VEHICULAR USE AREA (V.U.A.)	= 20,455 SF

PARKING STATISTICS

PARKING REQUIRED	= 5,125 SF/150 = 34 SPACES
PARKING PROPOSED	= 34 SPACES
HANDICAP REQUIRED	= 2 SPACES (*)
HANDICAP PROPOSED	= 2 SPACES

(*) = MIN. 2 PER 25 - 50 SPACES

LANDSCAPING REQUIREMENTS

V.U.A.	= 20,455 SF
INTERIOR AREA REQUIRED	= 2,046 SF (10% MIN.)
INTERIOR AREA PROVIDED	= 2,250 SF
INTERIOR TREES REQUIRED	= 2,046 SF X 1 TREE / 250 SF = 9 TREES
INTERIOR TREES PROVIDED	= 5 MED. TR. @ 400 SF + 4 LRG. SHR. @ 100 SF = 2,400 SF

EXISTING CANOPY

CANOPY REQUIRED (24%)	= 8,594 SF
CANOPY PROVIDED	= 9,650 SF (MIN.) = 2 SM. @ 100 SF + 18 MED. @ 400 SF + 3 LRG. @ 750 SF TOTAL = 9,650 SF

X VIABLE EXISTING TREES AND SHRUBS MAY BE PROTECTED DURING CONSTRUCTION AND APPLIED FOR CREDIT PER PLANNING.

SITE SIGNAGE TABLE

SIGN ID	DESCRIPTION	DIMENSIONS	AREA
S-4	POLE SIGN	MAX. 25' HEIGHT	MAX. 150 SF (151' FRONTAGE)
S-3	GROUND SIGN (FUTURE ALTERNATE)	MAX. 50 SF PER SIDE	(DUAL TENANT)
S-1	WALL/FASCIA	MAX. 150 SF PER SIDE	(2 SF PER 86 LF BLDG FRONTAGE FOR A MAX. OF 150 SF)

X SIGN PERMITTING WITH SPECIFIC DIMENSIONS, GRAPHICS, MATERIALS, ETC. TO BE SUBMITTED SEPARATELY. SHOWN FOR GENERAL LOCATION REVIEW ONLY. FINAL DEVELOPMENT PLAN APPROVAL DOES NOT MEAN SIGNAGE HAS BEEN APPROVED. A SEPARATE SIGN PERMIT FROM BUILDING INSPECTION DEPARTMENT IS REQUIRED.

SUMMARY OF AMENDED SITE PLAN CHANGES

- 1) RECONFIGURED FRONT PARKING AREA FOR ONE-WAY TRAFFIC FLOW.
- 2) SECOND ACCESS POINT ADDED FOR ONE-WAY TRAFFIC LAYOUT. WIDER SINGLE LANE WIDTH USED FOR ENHANCED DRIVER COMFORT AND LARGE VEHICLE TURNING MOVEMENT OPERATION.
- 3) EXPANDED SIDEWALK CONSTRUCTION BETWEEN NEW ENTRANCE AND POINT REPAIR TO ELIMINATE SHORT REMNANT SECTION.
- 4) ADDED OUTDOOR SEATING AREA.
- 5) RELOCATED DRIVE-THRU MENU BOARD AND ORDER LOCATION.

* FRONT BUILDING LINE SETBACK PER VARIANCE APPROVAL G-05-93 THE FRONT BUILDING LINE SETBACK WAS REDUCED FROM 50' TO 25' ALONG MCCLELLAND CIRCLE.

DIRECTIONAL SIGNAGE TABLE

DESC.	LOCATION	SIGN
DS-5	ENTRY RT SIDE	- JJ / DRIVE-THRU "
DS-6	ENTRY LT SIDE	- JJ / DRIVE-THRU "
DS-7	EXIT RT SIDE	- JJ " EXIT ONLY "
DS-8	EXIT LT SIDE	- BR " DO NOT ENTER " & " SEE YOU SOON "
DS-9,10	BLDG FACADE	- "RESERVED PARKING"
DS-11	OUTDOOR SEATING	- JJ " DO NOT ENTER "
DS-12	DRIVE THRU EXIT	- BR " SEE YOU SOON " & " DO NOT ENTER "

NO.	DATE	DESCRIPTION	BY
1	051019	MISC. REVIEW CORRECTIONS	JO
2	051019	ADDED THIRD UNIT	JO
3	121519	MISC. NOTES ADDED	JO
4	020920	REV. SIGNAGE TABLE, SH #	JO

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BLUEGRASS PETROLEUM LLC
 PVA #168 - 30 - 034.01
 121 SOUTHGATE DRIVE
 GEORGETOWN, KENTUCKY 40324

AMENDED SITE PLAN

FINAL DEVELOPMENT PLAN

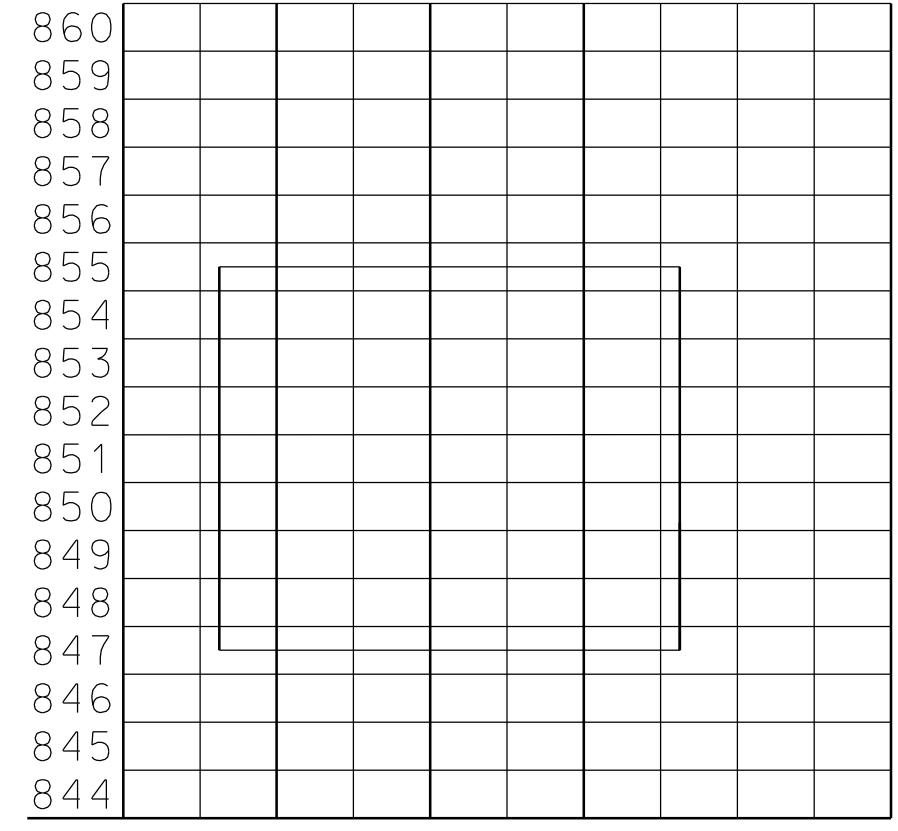
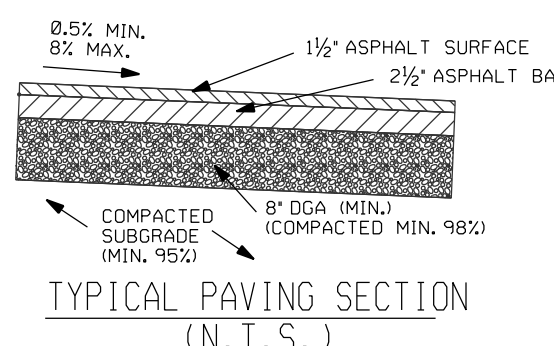
DRAWN BY:	JKO	DATE:	JUNE 12, 2025
CHECKED BY:		REV.:	AUG 20, 2025
JOB NO.:	JJ - BR - 1	SCALE:	1" = 20'
		SHEET:	3 OF 7

DRAINAGE SYSTEM DATA

Table with columns: STRUCTURE, DESCRIPTION, GRATE, INLET, OUTLET, PIPE DATA. Includes entries for ST #1 through ST #5 and detention structures CS #1 and CS #2.

- (1) MODIFICATION TO PROVIDE 6" CURB ON THREE SIDES EITHER PRE-CAST WITH RECESSED GRATE OR CURB POURED IN FIELD.
(2) ALL PROPOSED STORM SEWER INLETS SHALL HAVE WATER QUALITY FILTER INSERTS...
(3) DEPTH OF PERVIOUS SECTION BEGINS BELOW 6" PERVIOUS CONCRETE CAP AND VARIES DEPENDING ON INFLOW OR OUTFALL PIPE ELEVATION REQUIREMENTS.
(4) ALL PIPES TERMINATING WITHIN THE PERVIOUS STONE SUBGRADE SHALL BE CONNECTED TO A 12" RISER PIPE SECTION TIED INTO THE CONTINUOUS 6" PERFORATED PIPE UNDERDRAIN SYSTEM...

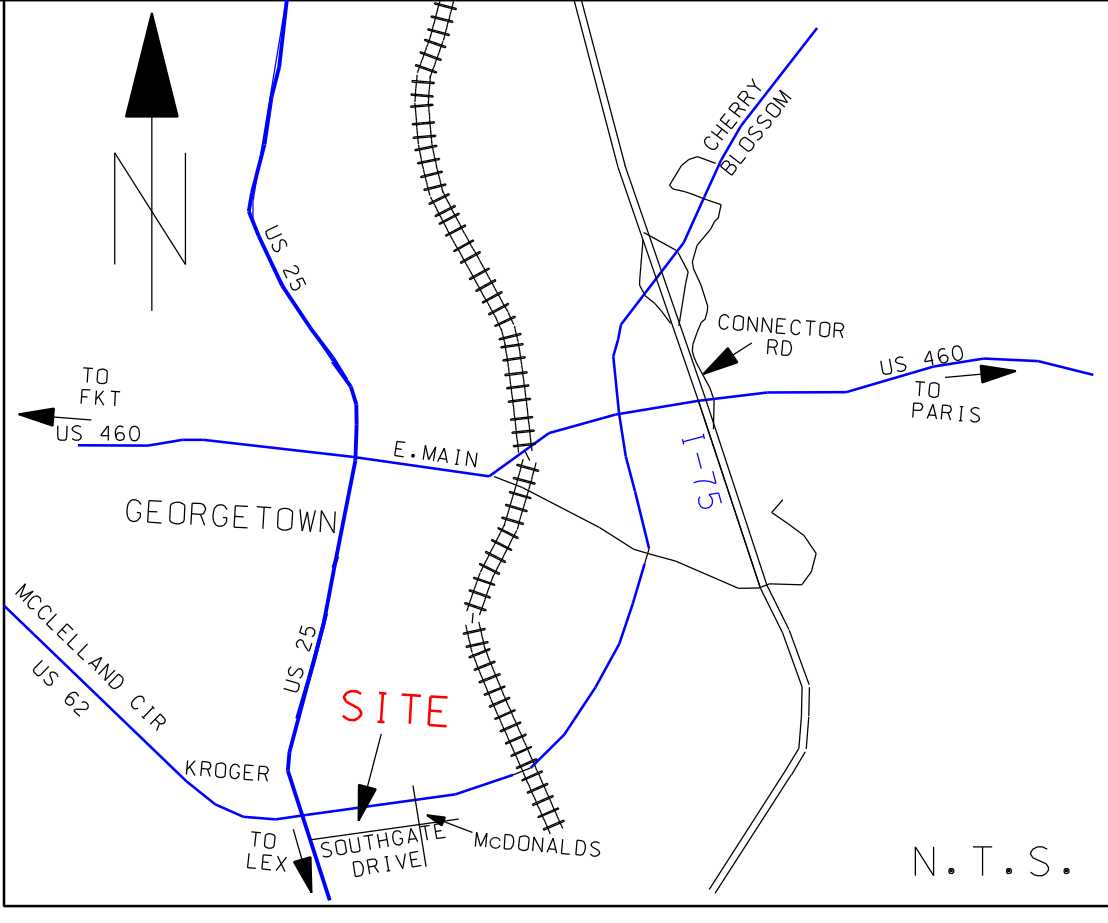
CONCRETE PAVEMENT MAY BE SUBSTITUTED AT OWNER'S DISCRETION.



TYPICAL UNDERGROUND DETENTION SECTION

LEGEND

- PROPOSED STORM SEWER MAIN
PROPOSED PERFORATED STORM SEWER PIPE
PROPOSED STORM SEWER JUNCTION BOX W/ ACCESS TOP
EXISTING WATER MAIN
EXISTING SANITY MAIN
EXISTING GAS MAIN
SILT FENCE
PROPOSED SUBSURFACE DETENTION - NO. 2 STONE
PROPOSED GRATED STORM INLET
PROPOSED SLOPED & FLARED HEADWALL
PROPOSED STANDARD HEADWALL
CL 11 RIP-RAP PROTECTION
MODIFIED TYPE 11 INLET BOX (KDOH) W/WATER QUALITY INSERT
PROPOSED STONE OR SAND BAG INLET SEDIMENT CONTROL
CONSTRUCTION KEY NOTE
PARKING SPACES



VICINITY MAP

OWNER/DEVELOPER: PRAGNESH PATEL, 2332 CROSS CREEK TRACE, LEXINGTON, KY 40509, PHONE: (59) 552-3377

ENGINEER: JONATHAN K. OTIS, PE, OTIS ENGINEERING, LLC, 234 W. MAIN STREET, SUITE 2, FRANKFORT, KENTUCKY 40601, PHONE: (502) 352-2808, otisengineerinc@gmail.com

GRADING AND DRAINAGE GENERAL NOTES

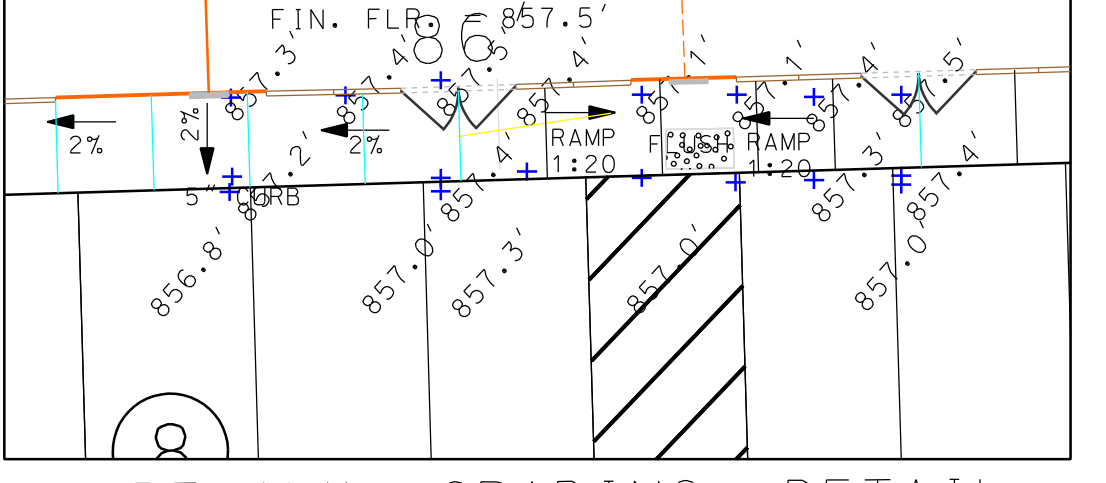
- 1. PROPOSED CONSTRUCTION ENTRANCE(S) PER DETAIL.
2. INSTALL CURB INLET SEDIMENT PROTECTION PRIOR TO LAND DISTURBING ACTIVITIES.
3. INSTALL PERIMETER SILT FENCE AROUND CONSTRUCTION LIMITS WHERE SHOWN PER DETAIL.
4. INSTALL PERMANENT RIP-RAP OUTLET PROTECTION OVER GEOTEXTILE FABRIC: L = 8', W = 6', D = 1.5'
5. INSTALL TEMP. ROCK SILT CHECK AT PIPE INLET/CONTROL STRUCTURE.
6. INSTALL TEMPORARY SAND BAG TYPE OR SIMILAR INLET PROTECTION AT ALL NEW STRUCTURES.
7. PROPOSED CONCRETE OUTLET FLUMES WITH CLASS II TYPE OUTLET PROTECTION OVER FILTER FABRIC.
8. PROPOSED ENTRANCE APRON SHOWN SHALL BE MIN. 8" - 4,000 PSI CONCRETE IN GENERAL ACCORDANCE WITH KYTC COMMERCIAL ENTRANCE STANDARD DRAWINGS.
9. PROPOSED ENTRANCE RAMPS SHALL BE ADA COMPLIANT TYPE 1 RAMPS IN ACCORDANCE WITH KYTC STANDARD DRAWINGS.
10. PROPOSED UNDERGROUND DETENTION CONSISTING OF PRIMARILY NO. 2 STONE WITH 6" PERVIOUS PIPE WRAPPED IN FILTER FABRIC. THE ENTIRE UNDER CUT AREA TO BE LINED WITH HEAVY DUTY FILTER FABRIC. SUBGRADE TO BE LAYED ON 0.5% GRADE DIRECTED TO RISER OUTLET. ADS INLET AND OTHER STRUCTURES MAY BE USED. ALL STRUCTURE TOPS, CLEANOUT ACCESS TOPS MUST BE TRAFFIC BEARING AND SET FLUSH WITH FINISH GRADE. SEE DETAIL.
11. PROPOSED FABRIC LINED 3" WIDE X 1" DEEP FRENCH DRAIN WITH 4" PERFORATED PIPE ON MIN. 1% TO OUTLET.
12. CONSTRUCT ADA COMPLIANT RAMP FLUSH TO ASPHALT WITH DETECTABLE PANEL AND COMPLIANT RAMPS TO STANDARD ACCESS SIDEWALK GRADE TO UNITS.
13. CONSTRUCT 5' WIDE TURN-DOWN SIDEWALK SECTION ALONG REAR OF BUILDING. THRESHOLD SECTIONS TO BE FLUSH TO PAVEMENT WITH SECTIONS BETWEEN RAISED TO MINIMUM 4" HEIGHT. RAMP TRANSITIONS AT MAXIMUM 1:12 SLOPE.

SIDEWALK CONSTRUCTION NOTES:

- 1. SIDEWALK CROSS SLOPES SHALL NOT EXCEED 2% IN ANY DIRECTION.
2. RAMPED PANELS SHALL NOT EXCEED 5% (1:20).
3. 5' WIDE TURNDOWN SIDEWALK SHALL HAVE MIN. 6" DEPTH AND TOE 12" BELOW FINISH GRADE, MIN 4,500 PSI.
4. EXPANSION JOINTS SHALL BE SEALED WITH CLEAR EPOXY-CAULK.
5. CONTRACTION JOINTS SHALL BE MIN. 2" WET SAWCUT AT 5'+/- SPACING.
6. DOWEL AND EPOXY ALL COLD JOINTS.
7. NEW SIDEWALK SHALL BE PROTECTED, WATERED AND CURED FOR A MIN. OF 48 HOURS. MAINTAIN NO FOOT TRAFFIC FOR ONE-WEEK.
8. RUB OUT CURB FACEFRAME AND
9. NO HEAVY OR NON-RUBBER TIRED EQUIPMENT ALLOWED TO SIT OR PASS OVER SIDEWALK WITHOUT SUITABLE PROTECTION.

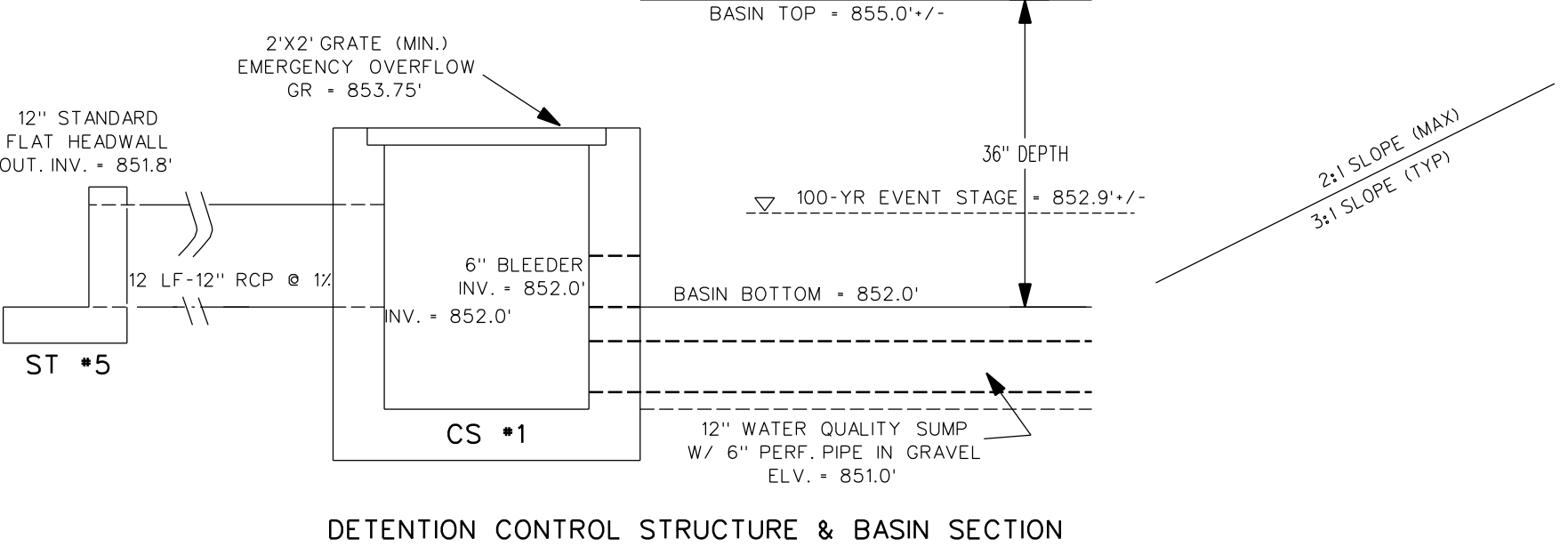
EROSION CONTROL AND CONSTRUCTION NOTES:

- 1. NO GRADING, GRUBBING, FILLING OR OTHER LAND DISTURBING ACTIVITIES MAY OCCUR PRIOR TO APPROVAL OF THE EROSION CONTROL PLAN AS SHOWN HEREON.
2. A PERMIT FOR THE PROPOSED ENTRANCES CONNECTIONS TO THE CITY STREET MUST BE APPROVED BY THE APPROPRIATE AUTHORITY.
3. THE EXCAVATION CONTRACTOR IS RESPONSIBLE FOR CONTROLLING EROSION AND SEDIMENT MIGRATION FROM THE SITE.
4. THE EXCAVATION CONTRACTOR SHALL USE SILT FENCES AND/OR STONE BAG DAMS AS SHOWN ON THE PLANS AND WHERE DEEMED NECESSARY TO PREVENT SEDIMENT RUNOFF.
5. THE EXCAVATION CONTRACTOR IS RESPONSIBLE FOR REMOVING SEDIMENT THAT HAS LEFT THE SITE AND FOR CLEANING AND MAINTAINING ALL SEDIMENT CONTROL DEVICES.
6. EXISTING VEGETATIVE COVER SHALL BE PRESERVED IN AREAS NOT DISTURBED BY CONSTRUCTION ACTIVITY.
7. ALL APPLICABLE EROSION CONTROL MEASURES SHALL BE PLACED BEFORE ANY LAND DISTURBING ACTIVITY. ALL DISTURBED DITCH SLOPES SHALL BE TEMPORARILY SEEDED IMMEDIATELY UPON ROUGH GRADING AND PERMANENTLY SEEDED IMMEDIATELY UPON FINAL GRADING.
8. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING WITH EITHER TEMPORARY SEEDING OR STONE SUBGRADE MATERIALS. AREAS WITH SLOPES EXCEEDING 4:1 WILL REQUIRE ADDITIONAL PROTECTIVE MEASURES, INCLUDING BUT NOT LIMITED TO MULCH OR SOODING.
9. ALL PERMANENT SEEDING SHALL TAKE PLACE AFTER ALL SITE PAVING CONSTRUCTION, AND UTILITY SERVICE INSTALLATIONS ARE IN PLACE.
10. PROPOSED SITE WATER MANAGEMENT DESIGN TO MEET LOCAL STORM WATER MANAGEMENT REQUIREMENTS.
11. EXISTING CURB AND SIDEWALK SECTION TO BE REPLACED WITH CONCRETE APRON TO R/W PROPERTY LINE WITH ADA COMPLIANT RAMPS WITH DETECTABLE DOMES.



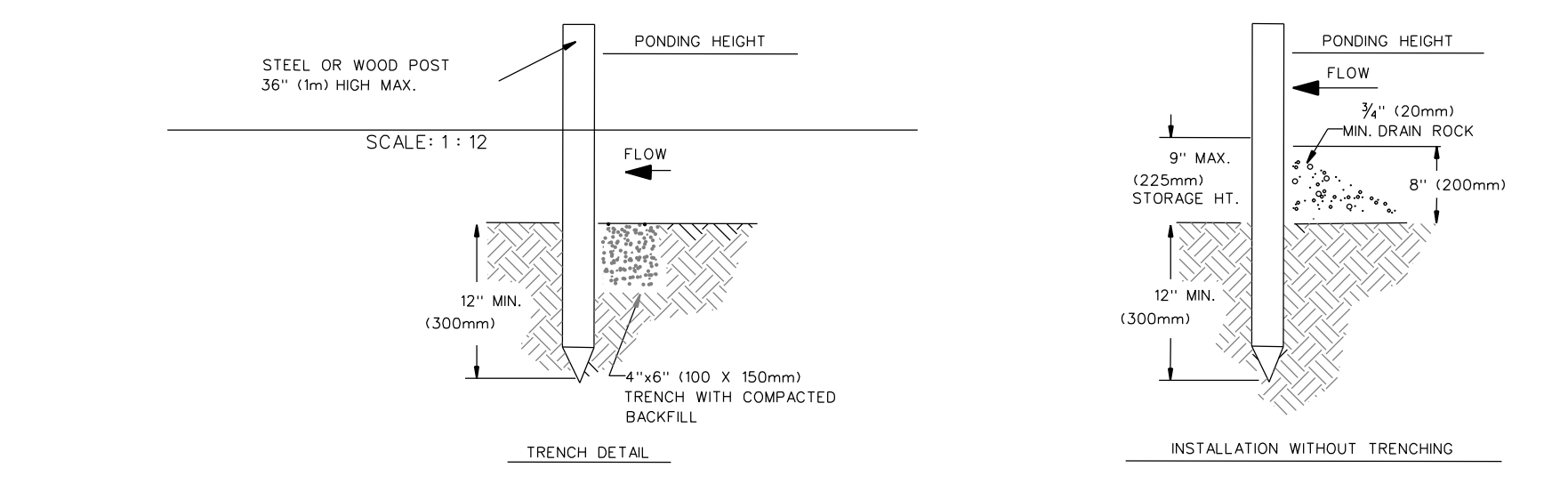
SIDEWALK FRONT SIDEWALK DETAIL

GRADING NOTE: SPOT ELEVATIONS SHOWN IN PAVED AREAS ARE FOR FINISH GRADE OF ASPHALT. ALL CURBS SHOWN ARE STANDARD 18" HEADER CURB WITH TOP OF CURB AT 6" ABOVE ASPHALT.

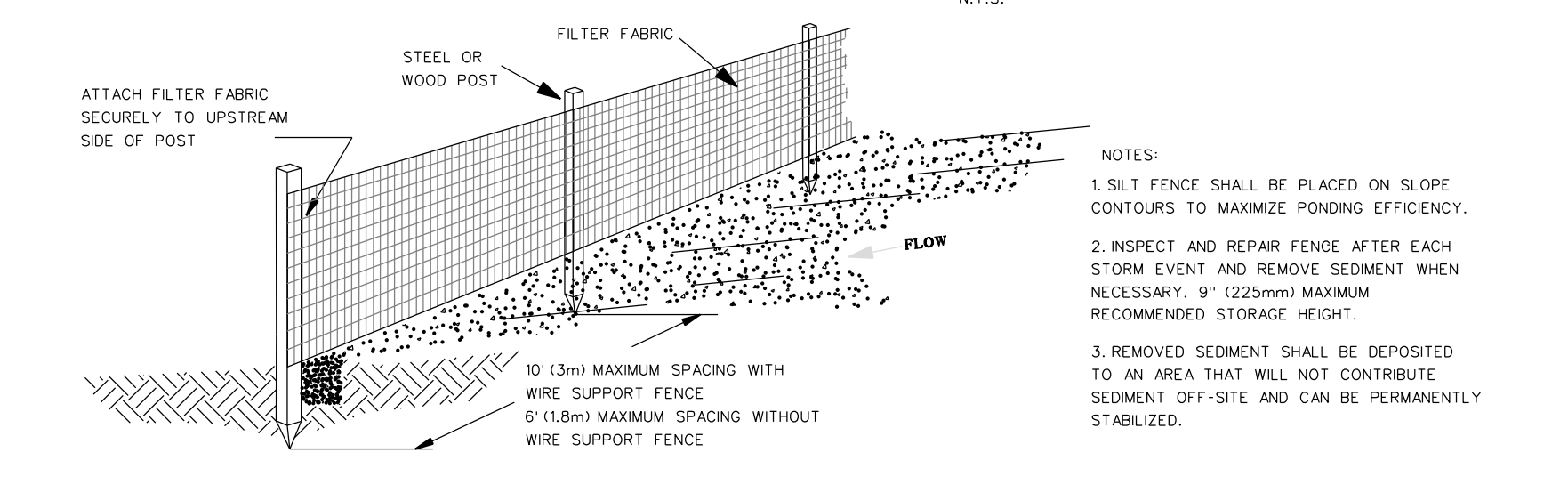


DETENTION CONTROL STRUCTURE & BASIN SECTION

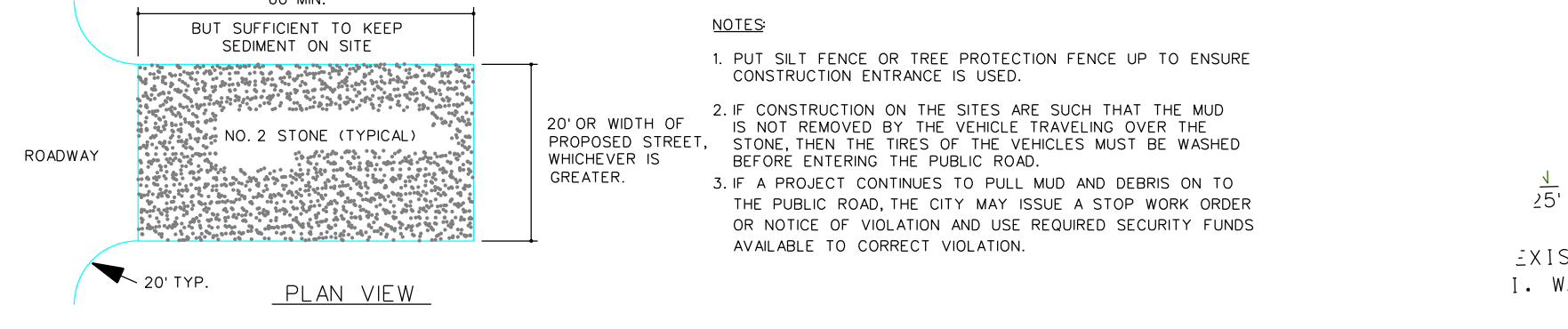
STORMWATER CONSTRUCTION NOTE: ALL WATER MANAGEMENT RELATED CONSTRUCTION REQUIRES PROJECT ENGINEER INSPECTION PER GEORGETOWN-SCOTT COUNTY PLANNING REGULATION REQUIREMENTS AND MUST BE SCHEDULED AND DOCUMENTED AT TIME OF INSTALLATION TO BE ACCEPTED AND CERTIFIED FOR APPROVAL.



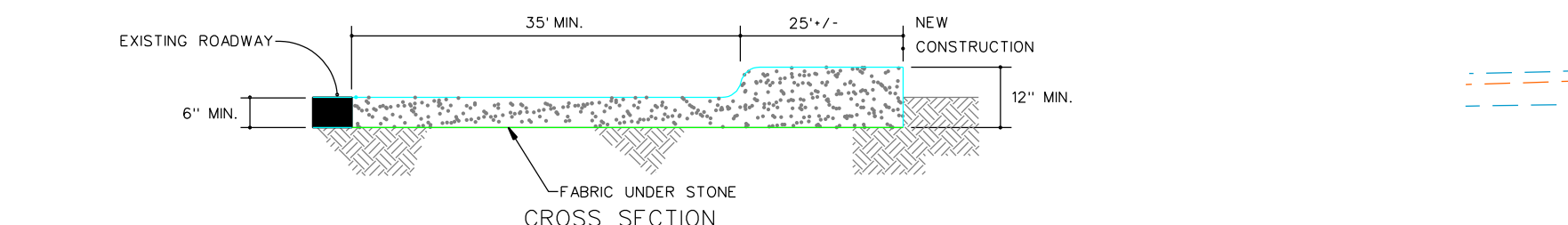
SILT FENCE DETAIL N.T.S.



ROADWAY

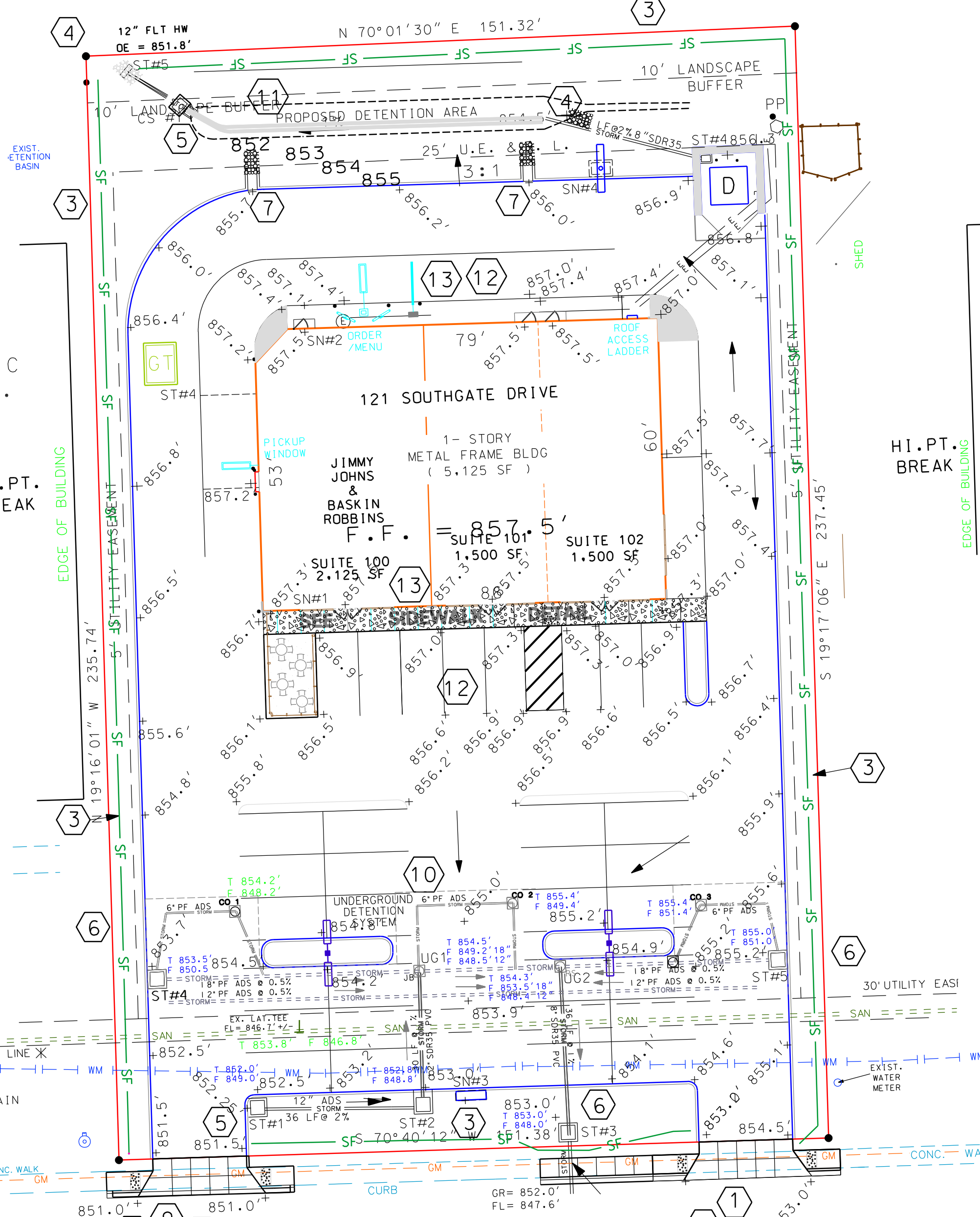


PLAN VIEW



CROSS SECTION

STANDARD CONSTRUCTION ENTRANCE
5 063025 REV. PRKG. MOD. UG DETENTION JD
6 072025 RAISED GRADES, DETAIL JD



SOUTHGATE DRIVE (50' RIGHT OF WAY)

Revision table with columns: NO., DATE, DESCRIPTION, BY.

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BLUEGRASS PETROLEUM LLC
PVA #168 - 30 - 034.01
121 SOUTHGATE DRIVE
GEORGETOWN, KENTUCKY 40324

AMENDED GRADE & DRAINAGE PLAN

FINAL DEVELOPMENT PLAN

Project information table including: DRAWN BY: JKO, DATE: JUNE 15, 2025, CHECKED BY: JJK, SCALE: 1" = 20', JOB NO.: JJ - BR - 1, SHEET: 5 OF 7.

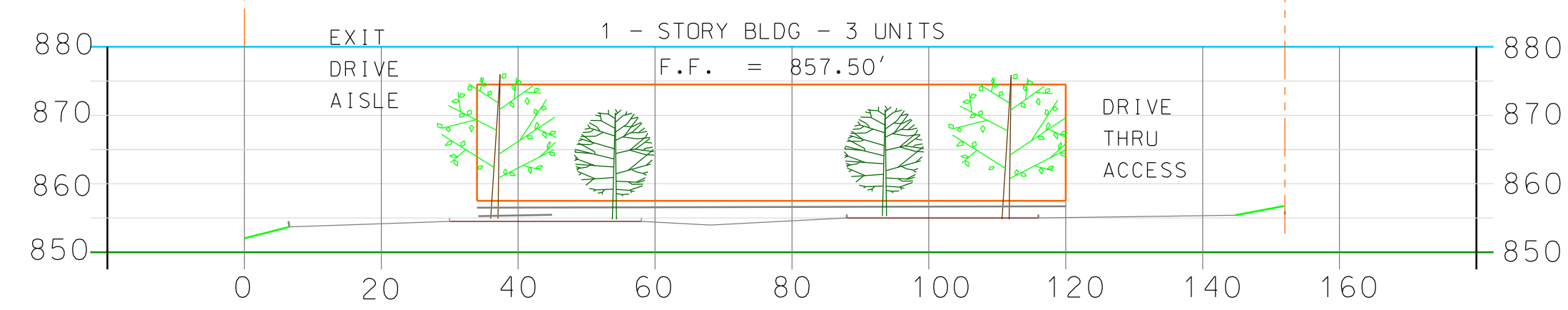
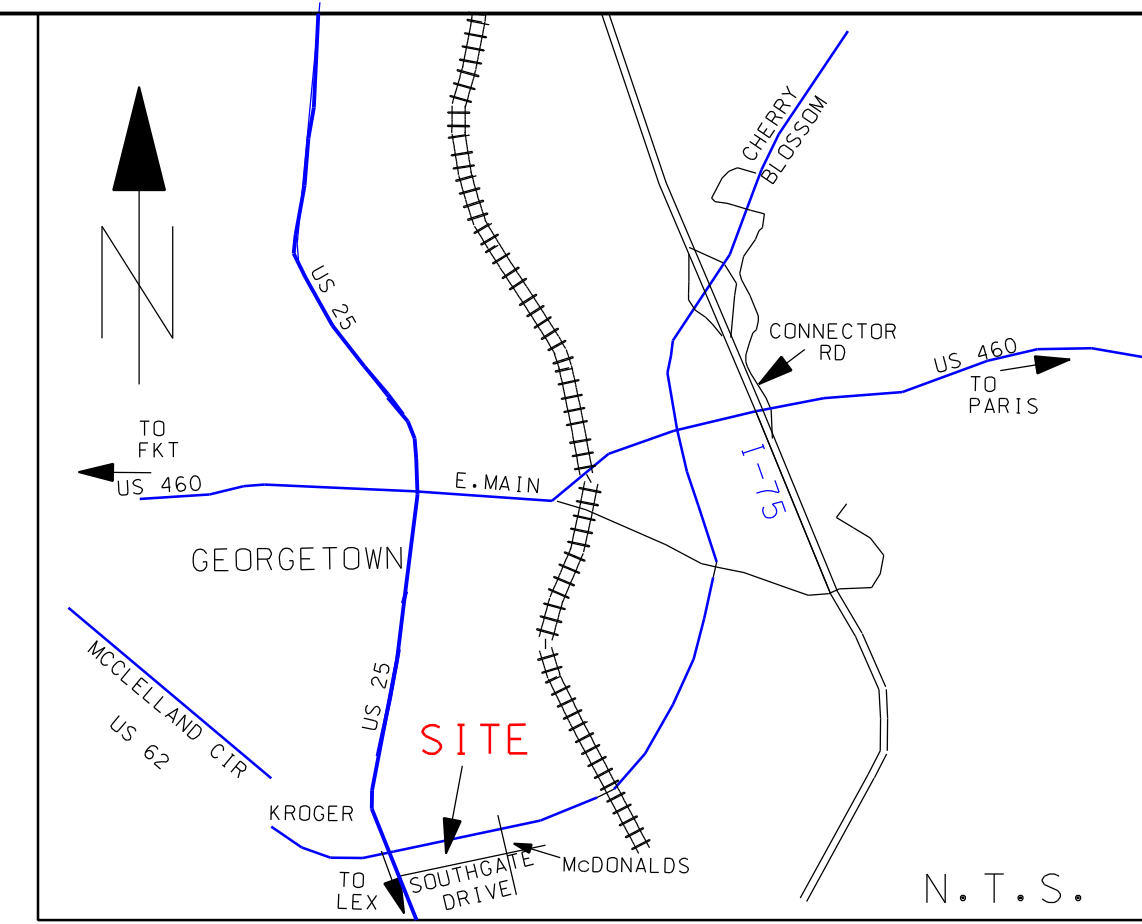
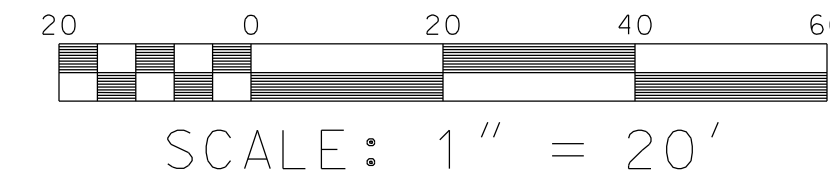
PERIMETER LANDSCAPING DATA

DIRECTION	SITE VS. ADJACENT PROPERTY	LOCATION	ORDINANCE REFERENCE	REQUIRED SCREENING	MIN. WIDTH	VUA PROP. DIM.	AREA SF REQ'D	PLANTINGS PROVIDED	COVERAGE DATA (QTY/SF)	TYPE "A"	"B"	"C"	"D"	INTERIOR LANDSCAPE AREAS
NORTH	"B-2" VS. "MCLELLAND CIR" R/W GEORGETOWN BYPASS		6-13.2	TR. TYPE "A"/"B"/"C" @ 40' OC + 3' HEDGE	10' [1]	151.32'	1,514 SF	6 TREES TYPE "B" + 24 MED SHRUBS @ 4' OC	-	6/2,400	-	24/960	-	ISLAND 135 SF
SOUTH	"B-2" VUA VS. LOCAL "R/W" SOUTHGATE DR		6-13.2	TR. TYPE "A"/"B"/"C" @ 40' OC + 3' HEDGE	3' [2]	151.38'	1,514 SF	2 TREES TYPE "B", 2 TREES TYPE "C" + 24 MED SHRUBS TYPE "D" @ 4' OC	-	2/800	2/200	24/960	-	ISLAND 135 SF
EAST	"B-2" VUA VS "B-2" - KEN TOWER'S TIRE		6-13.1	TR. TYPE "A"/"B"/"C" @ 40' OC + 3' HEDGE	3' [3]	215'	2,150 SF	6 TREES TYPE "B" + 24 MED SHRUBS @ 4' OC	-	6/2,400	-	-	-	PENINSULA 70 SF
WEST	"B-2" VUA VS "B-2" - VET CENTER		6-13.1	TR. TYPE "A"/"B"/"C" @ 40' OC + 3' HEDGE	3' [4]	215'	2,150 SF	2 TREES TYPE "B", 2 TREES TYPE "C" + 40 SM SHRUBS @ 3' OC	-	6/2,400	-	-	-	DUMPSTER 120 SF
														FRONT PKG 1,200 SF
														REAR DRIVE 780 SF
														TOTAL PROVIDED 2,500 SF

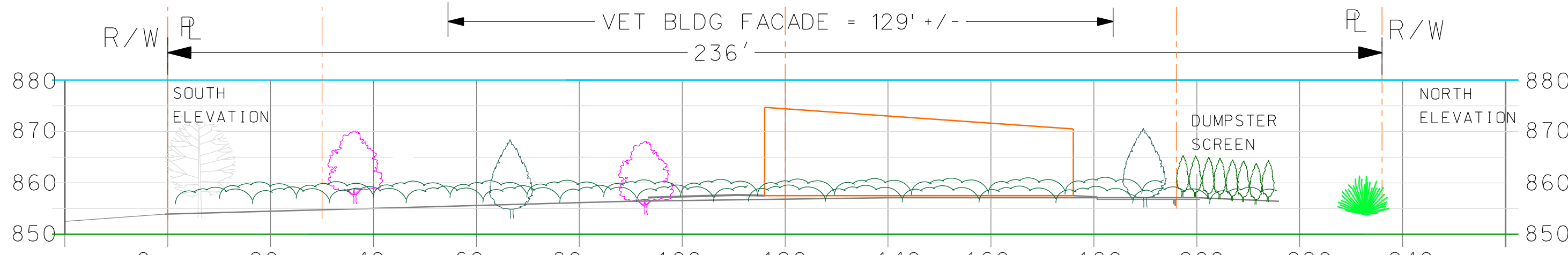
NOTES:
 [1] = EXISTING 10' LANDSCAPE EASEMENT PER PLAT
 [2] = NO OVERHANG.
 [3] = NO OVERHANG. SEE SPECIAL BUFFERING NOTES BELOW.
 [4] = NO OVERHANG. SEE SPECIAL BUFFERING NOTES BELOW.

GENERAL LANDSCAPE PLAN NOTES:

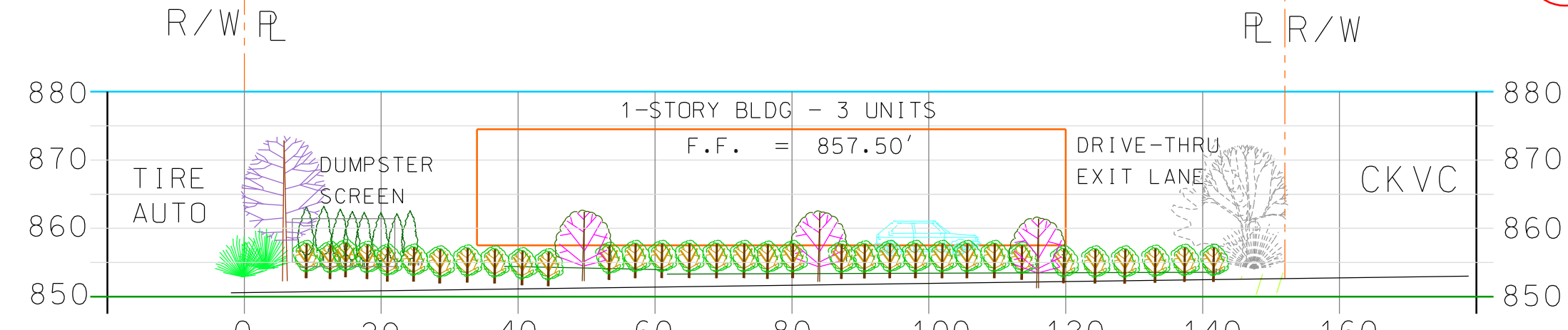
- LANDSCAPE PLAN AS PRESENTED SHALL COMPLY WITH CURRENT GEORGETOWN - SCOTT COUNTY LANDSCAPE ORDINANCE REQUIREMENTS.
- ALL TREE, SHRUB AND GROUND COVER PLANTINGS AS SHOWN ARE TAKEN FROM THE CURRENT ACCEPTABLE PLANT MATERIALS LIST.
- ALL PLANTINGS TO BE SOURCED LOCALLY AS AVAILABLE.
- ANY SUBSTITUTION TO THE COMMON NAME PLANT SPECIES INDICATED MUST BE APPROVED BY PLANNING DEPARTMENT PRIOR TO BEING INSTALLED.
- ALL LANDSCAPED AREAS SHALL BE MULCHED IN ACCORDANCE WITH THE PLANTING MANUAL MINIMUM STANDARDS.
- ADEQUATE SIGHT TRIANGLES MUST BE MONITORED AND MAINTAINED AT ENTRANCES IN PERPETUITY.
- ALL REQUIRED PLANTINGS SHALL BE MAINTAINED AND REPLACED WHEN NECESSARY IN PERPETUITY. ANY FUTURE REPLACEMENT SUBSTITUTIONS MUST BE APPROVED BY GSCPC PLANNING DEPARTMENT PRIOR TO INSTALLATION.
- DECORATIVE LANDSCAPE STONE MAY BE SUBSTITUTED FOR OTHER LISTED GROUND COVER MATERIALS WITH THE APPROVAL OF GSCPC OR AS AUTHORIZED BY GSCPC STAFF.
- THE PERIMETER LANDSCAPING REQUIREMENT ALONG THE MCLELLAND CIRCLE R/W WAS PREVIOUSLY WAIVED BY GSCPC, BUT THE VUA REQUIREMENT MUST STILL BE MET. AN ALTERNATIVE INSTALLATION WITH THE PRIOR APPROVAL OF GSCPC STAFF WOULD ALLOW THE OWNER TO INSTALL THE CONTINUOUS HEDGE BETWEEN THE BACK OF CURB AND DETENTION BASIN AND THE REQUIRED TREES ALONG THE R/W FENCE.



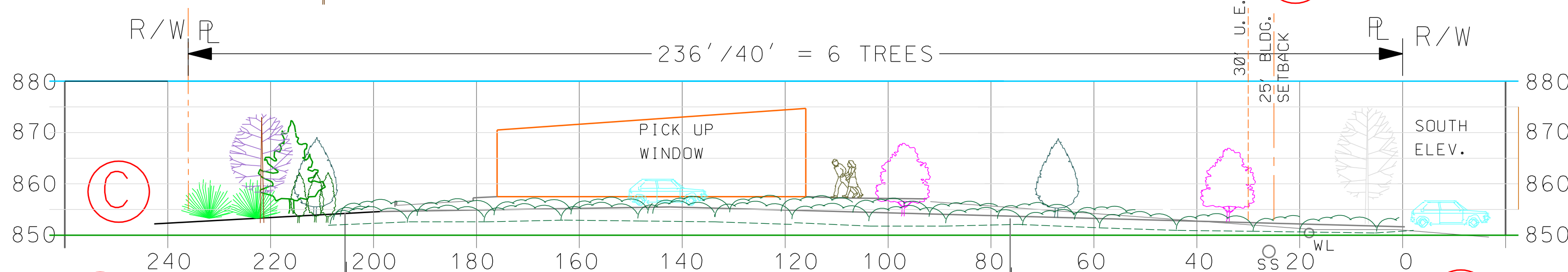
INTERIOR LANDSCAPE ISLANDS
 SCALE: 1" = 20' HZ/VT



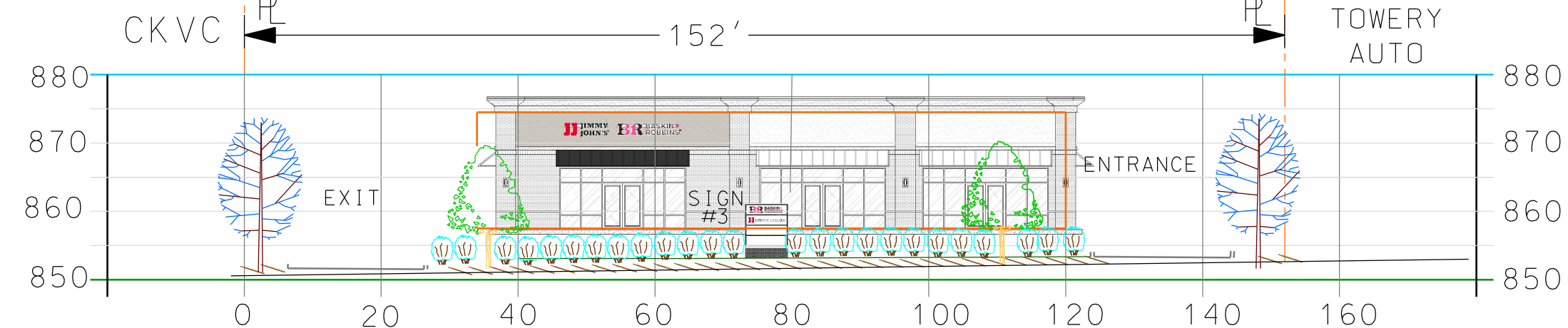
EAST ELEVATION - 131 SOUTHGATE DRIVE
 SCALE: 1" = 20' HZ/VT



NORTH ELEVATION - MCLELLAND CIRCLE R/W
 SCALE: 1" = 20' HZ/VT



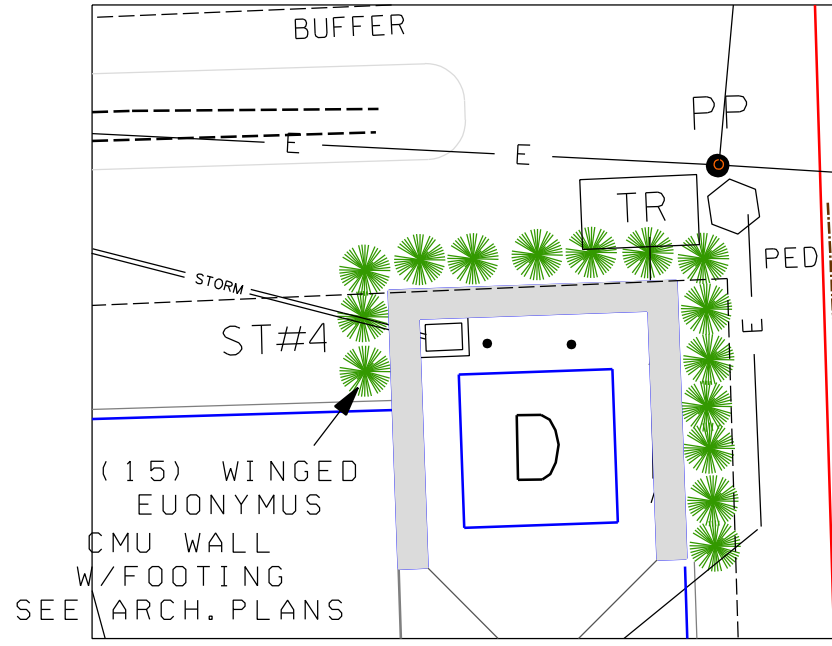
WEST ELEVATION - 111 SOUTHGATE DRIVE
 SCALE: 1" = 20' HZ/VT



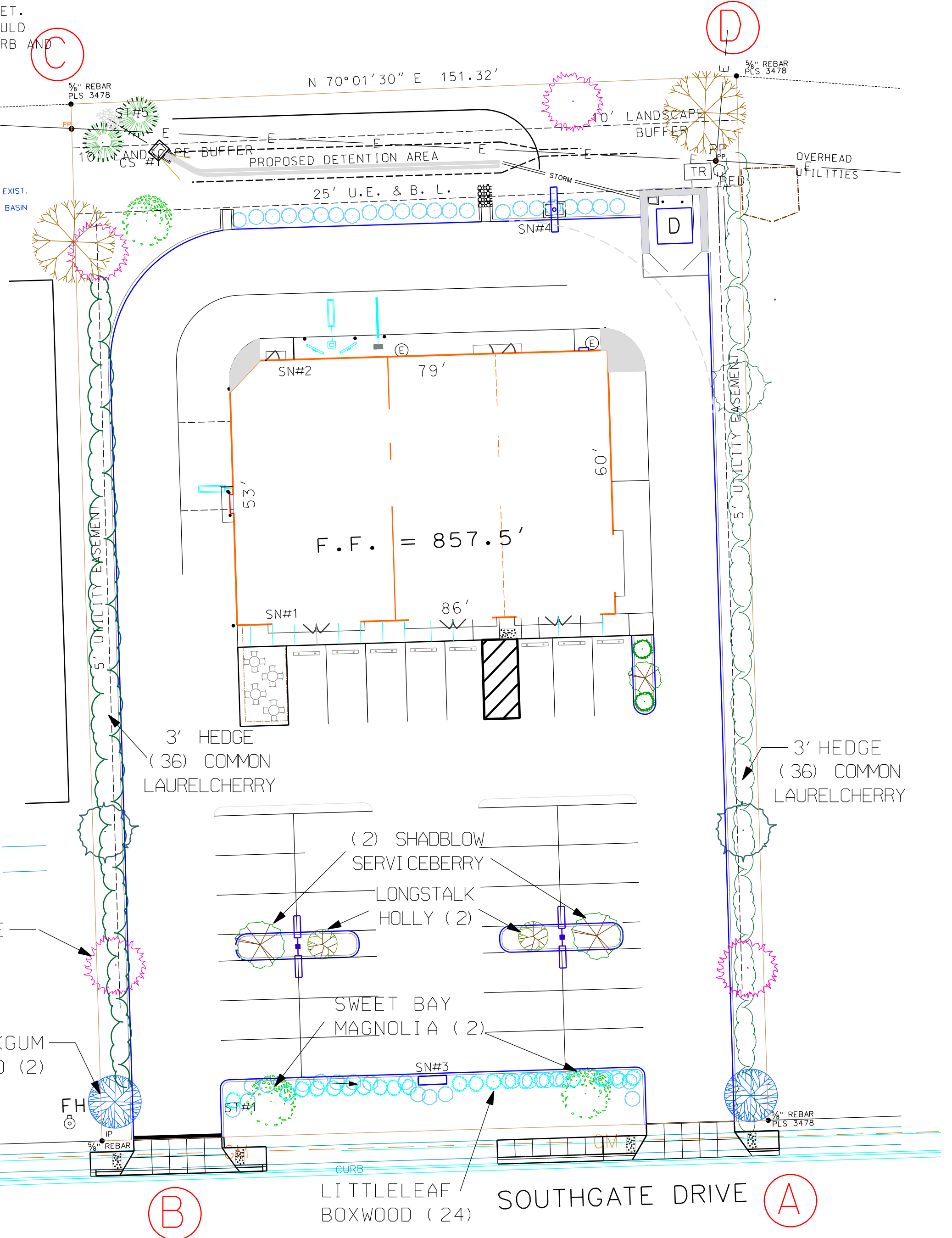
SOUTH ELEVATION - 121 SOUTHGATE DRIVE
 SCALE: 1" = 20' HZ/VT

1 - STORY COMMERCIAL BLDG
 F.F. = 857.50'

LANDSCAPING REQUIREMENTS
 OWNER SHALL INSTALL ADDITIONAL GROUND COVER AND FLOWERS, ETC. AT THEIR DISCRETION. THE REQUIRED AREAS ARE LISTED BELOW. THE ACCEPTABLE PLANT SPECIES AND MATERIALS ARE PROVIDED.
 INTERIOR TREES REQUIRED = 2,250 SF
 INTERIOR TREES PROVIDED = 2,046 SF X 1 TREE / 250 SF = 9 TREES
 INTERIOR TREES PROVIDED = 5 MED. TR. @ 400 SF + 4 LRG. SHR. @ 100 SF = 2,400 SF
 EXISTING CANOPY CANOPY REQUIRED (24%) = 0 SF
 CANOPY PROVIDED = 8,594 SF
 CANOPY PROVIDED = 9,650 SF (MIN.) = 2 SM. @ 100 SF + 18 MED. @ 400 SF + 3 LRG. @ 750 SF
 TOTAL = 9,650 SF
 ** VIABLE EXISTING TREES AND SHRUBS MAY BE PROTECTED DURING CONSTRUCTION AND APPLIED FOR CREDIT PER PLANNING.



DUMPSTER ENCLOSURE DETAIL
 SCALE: 1" = 10'



SUMMARY OF AMENDED LANDSCAPE PLAN CHANGES

- REWORKED FRONT PARKING AREA LAYOUT.
- REVISED PERIMETER AND INTERIOR LANDSCAPING REQUIREMENTS.
- ADDED NOTE(S) FOR CREDITING EXISTING ACCEPTABLE PLANTINGS AND SCREENING ON ADJACENT COMMERCIAL PARCELS.

NO.	DATE	DESCRIPTION	BY
1	051019	1ST REVIEW CORRECTIONS	JO
2	072919	REV. INTERIOR AREAS TABLE	JO
3	020920	REV. SH. #	JO
4	061525	REV. PLANTINGS, PKG LAYOUT	JO

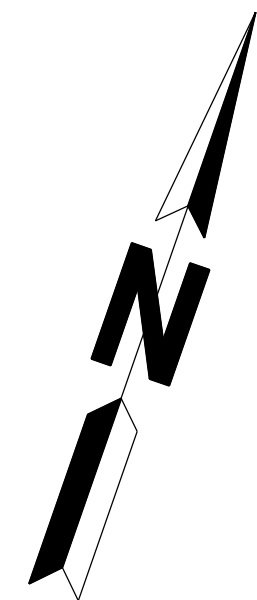
OTIS ENGINEERING, LLC
 234 W. MAIN STREET, STE 2
 FRANKFORT, KY 40601
 PH: (502) 352-2808 FAX: (502) 352-2809

BLUEGRASS PETROLEUM LLC
 PVA #168 - 30 - 034.01
 121 SOUTHGATE DRIVE
 GEORGETOWN, KENTUCKY 40324

AMENDED LANDSCAPE PLAN

FINAL DEVELOPMENT PLAN

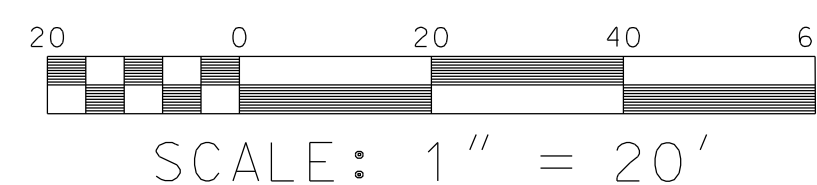
JKO	JUNE 15, 2025 AUG 20, 2025
CHECKED BY:	SCALE: 1" = 20'
JOB NO.: JJ - BR - 1	SHEET: 6 OF 7



THE ZONING DISTRICT INFORMATION DEPICTED ON THIS DEVELOPMENT PLAN WAS ACCURATE AS OF THE DATE OF APPROVAL AND EXECUTION BY THE PLANNING COMMISSION. HOWEVER, SUCH INFORMATION IS SUBJECT TO CHANGE AND SHOULD BE VERIFIED WITH THE APPROPRIATE AUTHORITY.

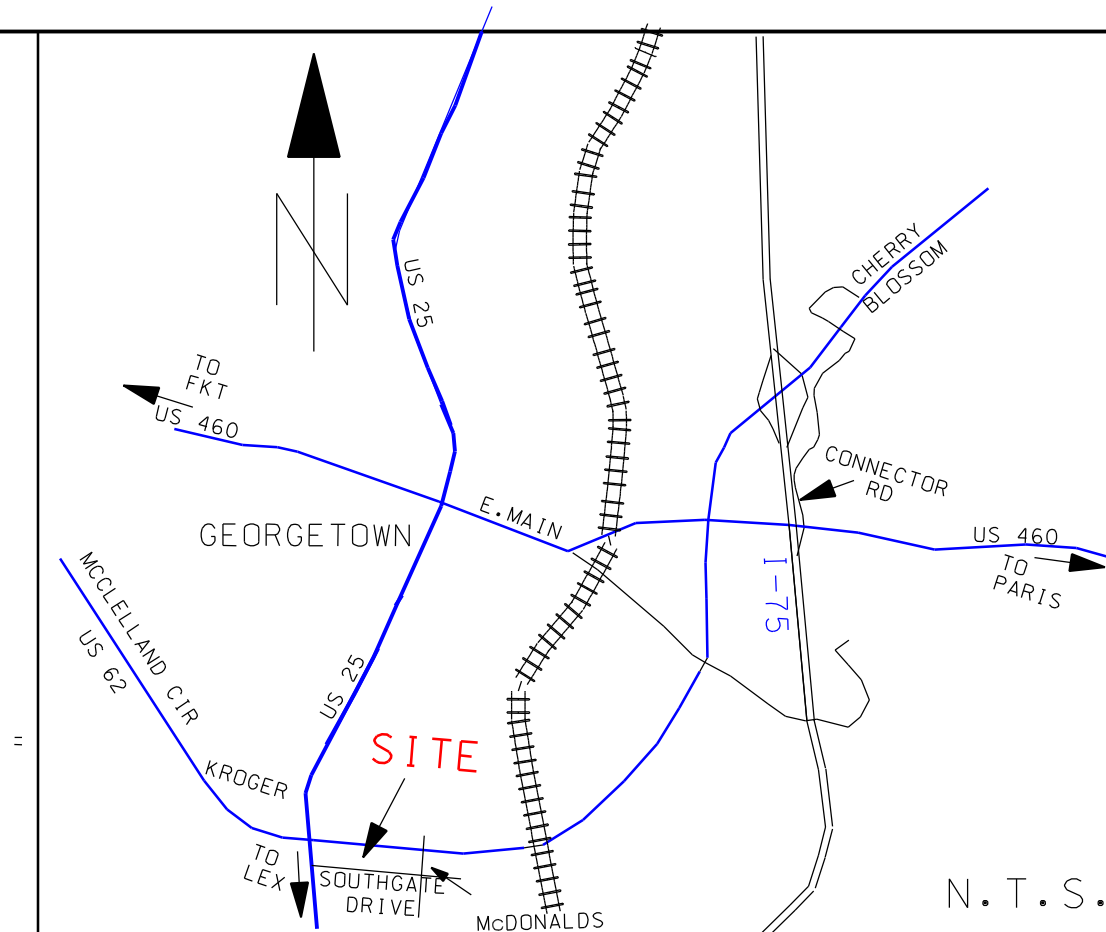
MCCLELLAND CIRCLE (GEORGETOWN BY-PASS)

MCCLELLAND CIRCLE RIGHT OF WAY



LEGEND

- PROPOSED STORM SEWER MAIN = [Symbol]
- PROPOSED PERFORATED STORM SEWER PIPE = [Symbol]
- PROPOSED STORM SEWER JUNCTION BOX W/ ACCESS TOP = [Symbol]
- EXISTING WATER MAIN = [Symbol]
- EXISTING SANITARY MAIN = [Symbol]
- EXISTING GAS MAIN = [Symbol]
- SILT FENCE = [Symbol]
- PROPOSED SUBSURFACE DETENTION - NO. 2 STONE = [Symbol]
- PROPOSED GRATED STORM INLET = [Symbol]
- PROPOSED SLOPED & FLARED HEADWALL = [Symbol]
- PROPOSED STANDARD HEADWALL = [Symbol]
- CONSTRUCTION KEY NOTE = [Symbol]
- PARKING SPACES = [Symbol]
- ALL STORM SEWER PIPES SHALL BE SMOOTH DOUBLE WALL HDPE - ADS TYPE PIPE AND WRAPPED WITH HEAVY FILTER FABRIC.
- ALL MINOR STORM SEWER STRUCTURES - PRE-CAST OR FIELD FORMED AND MUST HAVE 1" MIN. WEEP HOLES ON EACH SIDE. ALL STRUCTURES MUST BE WRAPPED WITH HD FILTER FABRIC.
- TWO-WAY CLEAN-OUT VALVE ASSEMBLY W/ TRAFFIC BEARING TOP MARKED "STORM C.O."
- CL 11 RIP-RAP PROTECTION
- CL A CONCRETE 4,000 PSI (MIN)
- MODIFIED TYPE 11 INLET BOX (KDOH) W/WATER QUALITY INSERT
- 6" SDR 35 PVC SEWER LATERAL @ 1% MIN.
- PROPOSED STONE OR SAND BAG INLET SEDIMENT CONTROL
- EXTERIOR LIGHTING FOR POLES & SIGNAGE



VICINITY MAP

LIGHTING PLAN GENERAL CONSTRUCTION NOTES:

- 1) AN APPROVED SIGN PERMIT IS REQUIRED PRIOR TO INSTALLATION OF ANY SIGNAGE NOT SPECIFIED AS BEING EXEMPT IN THE CURRENT GSCPC SIGN ORDINANCE. THE DEVELOPMENT PLAN ONLY INDICATES PROPOSED LOCATION(S) MEETING APPLICABLE SETBACKS.
- 2) PROPOSED EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH LOCAL REQUIREMENTS AND SUBMITTED TO GSCPC BUILDING INSPECTION AND PLANNING DEPARTMENTS FOR APPROVAL. LIGHT POLES SHOWN ARE FOR GENERAL INFORMATION ONLY. ATTACHED BUILDING LIGHT FIXTURES WILL BE USED TO SUPPLEMENT ON-SITE V.U.A. LIGHTING NEEDS.
- 3) ALL SIGNAGE INSTALLATIONS MUST BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. NO CHANGES IN SIGNAGE SIZE, LOCATION, MATERIALS, ETC. ARE ALLOWED WITHOUT WRITTEN CONSENT FROM THE PERMITTING AUTHORITY.
- 4) LARGE SIGNS EITHER BY SURFACE AREA, HEIGHT OR FOUNDATION MAY REQUIRE APPLICANT'S ENGINEER TO PROVIDE SUPPORTING CALCULATIONS.
- 5) ALL PROPOSED WORK AND LAND DISTURBING ACTIVITIES SHOULD BE LIMITED TO SUBJECT PROPERTY BOUNDARIES. CONTRACTOR(S) MUST NOTIFY AND COORDINATE ANY OFF-SITE IMPACTS WITH ADJOINING PROPERTY OWNER(S), INCLUDING TRANSPORTATION CABINET FOR WORK ON STATE R/W.

LIGHTING NOTE:
ALL EXTERIOR LIGHTING, INCLUDING BUILDING LIGHTING, SHALL BE RECESSED OR SHIELDED, EITHER DIRECTIONALLY OR ENTIRELY. LIGHTING PLAN IN ACCORDANCE WITH SECTION 11.04.1.A IS REQUIRED FOR ANY NEW POLE MOUNTED LIGHTS. EXTERIOR BUILDING LIGHTS TO BE REVIEWED AND APPROVED THROUGH BUILDING PERMIT PROCESS AS APPLICABLE.



SITE STATISTICS

ZONE	=	B - 2
LOT AREA	=	0.822 AC OR 35,806 SF
BUILDING AREA	=	5,125 SF
LOT COVERAGE	=	14.2 %
SIDEWALKS	=	500 SF
OTHER IMPERVIOUS	=	265 SF
VEHICULAR USE AREA (V.U.A.)	=	20,455 SF

PARKING STATISTICS	
PARKING REQUIRED	= 5,125 SF/150 = 34 SPACES
PARKING PROPOSED	= 34 SPACES
HANDICAP REQUIRED	= 2 SPACES (*)
HANDICAP PROPOSED	= 2 SPACES
(*) = MIN. 2 PER 25 - 50 SPACES	

CALCULATION SUMMARY

Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Illuminance	Fc	3.41	12.1	0.1	34.10	121.00

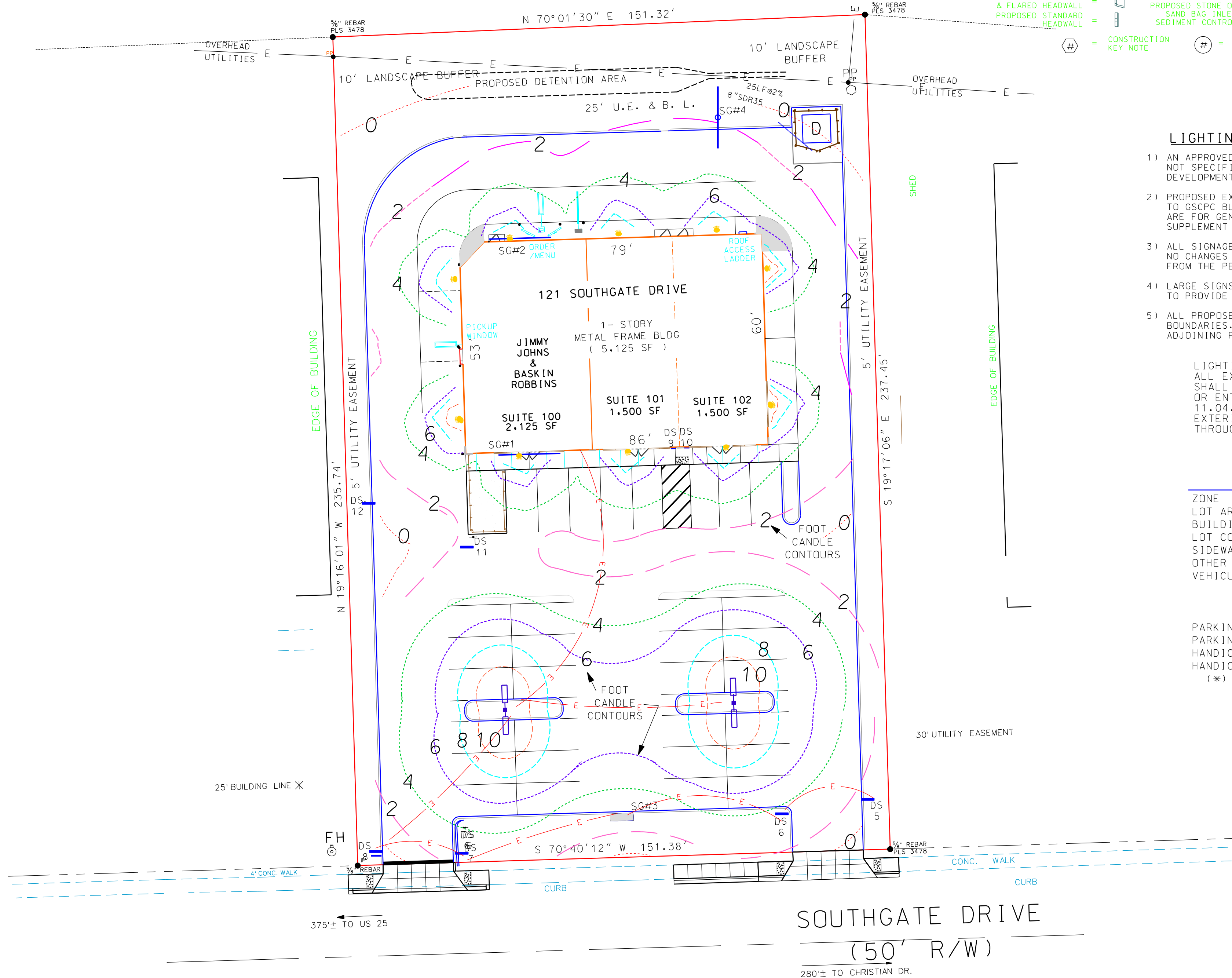
LUMINAIRE SCHEDULE

Symbol	Qty	Label	Description	LLF	Arr. Watts
[Symbol]	10	BL	HUBBELL PGM3-180L 4K035-UDB	0.900	32.1
[Symbol]	2	CA	BEACON VP-S-60L-136-4K7-5QM 20' POLE	0.900	270.67

9 SITE SIGNAGE TABLE

SIGN ID	DESCRIPTION	DIMENSIONS	AREA
S - 4	POLE SIGN	MAX. 25' HEIGHT	MAX. 150 SF (151' FRONTAGE)
S - 3	GROUND SIGN (FUTURE ALTERNATE)		MAX. 50 SF PER SIDE (DUAL TENANT)
S - 1	WALL/FASCIA		MAX. 150 SF PER SIDE (2 SF PER 86 LF BLDG FRONTAGE FOR A MAX. OF 150 SF)

* SIGN PERMITTING WITH SPECIFIC DIMENSIONS, GRAPHICS, MATERIALS, ETC. TO BE SUBMITTED SEPARATELY. SHOWN FOR GENERAL LOCATION REVIEW ONLY. FINAL DEVELOPMENT PLAN APPROVAL DOES NOT MEAN SIGNAGE HAS BEEN APPROVED. A SEPARATE SIGN PERMIT FROM BUILDING INSPECTION DEPARTMENT IS REQUIRED.



SUMMARY OF AMENDED PHOTOMETRIC PLAN CHANGES

- 1) REVISED PLAN FOR NEW ISLAND LOCATIONS.
- 2) ADDED LIGHTS TO FRONT OF BUILDING FOR GREATER ILLUMINATION AT UNIT ENTRANCES.
- 3) REVISED PHOTOMETRIC PLAN IS BASED ON PREVIOUSLY APPROVED PLAN BY LIGHTING SUPPLIER.

FRONT BUILDING LINE SETBACK
PER VARIANCE APPROVAL G-05-93 THE FRONT BUILDING LINE SETBACK WAS REDUCED FROM 50' TO 25' ALONG MCCLELLAND CIRCLE.

DIRECTIONAL SIGNAGE TABLE

DESC.	LOCATION	SIGN
DS-5	ENTRY RT SIDE	- JJ / DRIVE-THRU "
DS-6	ENTRY LT SIDE	- BR / DRIVE-THRU "
DS-7	EXIT RT SIDE	- JJ " EXIT ONLY "
		& " THANK YOU "
DS-8	EXIT LT SIDE	- BR " DO NOT ENTER "
		& " SEE YOU SOON "
DS-9,10	BLDG FACADE	- "RESERVED PARKING"
DS-11	OUTDOOR SEATING	- JJ " DO NOT ENTER "
DS-12	DRIVE THRU EXIT	- BR " SEE YOU SOON "
		& " DO NOT ENTER "

NO.	DATE	DESCRIPTION	BY

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FRANKFORT, KY 40601
PH: (502) 352-2808 FAX: (502) 352-2809

BLUEGRASS PETROLEUM LLC
PVA #168 - 30 - 034.01
121 SOUTHGATE DRIVE
GEORGETOWN, KENTUCKY 40324

AMENDED PHOTOMETRIC PLAN

FINAL DEVELOPMENT PLAN

DRAWN BY:	JKO	DATE:	JUNE 12, 2025
CHECKED BY:		REV.:	AUG 20, 2025
JOB NO.:	JJ - BR - 1	SCALE:	1" = 20'
		SHEET:	7 OF 7